



Architectural Guidelines - Phase 1

Single Family and Duplex Development

June 17, 2026 - Version 1

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Sage North continues the legacy that was established in Sage Creek with the juxtaposition of prairie meadow against manicured streetscape creating a unique Winnipeg suburban community, “where neighbours have the opportunity to meet other residents at the local stores, while walking along the many pathways and trails located along naturalized wetlands, or simply converging at the many public places including schools, recreational facilities and civic facilities.” (South St. Boniface Area Structure Plan By-law No. 158/2005)

- 1.2.1 Neighbourhood Focus – to encourage a sense of neighbourhood and provide a focal point for transit access and social interaction.
- 1.2.2 Housing Diversity – to accommodate a diversity of housing types - ranging from duplexes, townhouses and stacked townhomes to distinctively fashioned single residences - to meet the needs of varying income groups and lifestyles, thus providing the opportunity for residents to remain within the community as their lifestyle choices change.
- 1.2.3 Naturalized Parkland – comprised of an extensive trail system that connects the various neighbourhoods from Fermor to the Perimeter.

The architectural vision continues to evolve from the framework that has been set out with Sage Creek. With the variety of housing type and architectural style that has been achieved to date within Sage Creek, the vision of this subsidiary community is based upon the high standard of architectural style and form that has been achieved to date within the community. Sage Creek will begin with modern takes on 8 distinct architectural styles:

1. Prairie
2. Farmhouse
3. Tudor
4. Craftsman
5. Contemporary
6. Mid Century Modern
7. French Country
8. Scandinavian

Each architectural style will be required to include details representative of that style of architecture. This set of guidelines aims to provide a framework that ensures each home can be seen as a distinct architectural style while still flexible enough to allow builders to continue to develop plans that promote diversity, innovation and individual identity for each individual residence. Several examples are shown as inspiration in the Architectural Style section, and builders are encouraged to find and share their own inspiration photos in developing the plans for the neighbourhood.

The mix of housing types and architectural styles along the streetscape will establish the interest of the street and character of the neighbourhood. Each builder should be able to contribute a minimum of three different styles to the neighbourhood.

Builders are encouraged to push the envelope in their design and contemplate Net-Zero homes, passive homes, and natural materials.

These guidelines are intended to provide a framework for each lot. Each build will be required to meet the general design guidelines outlined in section 2, one architectural style from section 3, one housing type from section 4 as well as the general guidelines of section 5. Section 6 outlines the appropriate submission and approval process.

02.01 Massing

The architectural relationships of mass, form and detail in terms of proportion, rhythm, harmony and balance will be assessed under these guidelines. All homes should be well proportioned with the placement of windows, doors and other elevation features complementing the proportions of the walls and overall facade on which they occur.

- 02.01.01** The architectural style of the home shall be evident from all prominent elevations.
- 02.01.02** Builders shall make use of the combination of massing and material changes. ie material changes shall occur at a change of plane.
- 02.01.03** In addition to the front plane of the garage, each home should have a minimum of two additional planes on the front elevation. Each plane shall be separated by a minimum of 2ft.
- 02.01.04** A minimum of two planes should be incorporated on all prominent rear or side elevations (in addition to the garage plane).
- 02.01.05** Window box and other details will be accepted with a 4 inch change of plane.
- 02.01.06** All second storey floor areas located above the garage shall not comprise more than 30% of the second storey floor area. The two storey plane on both the front and side entrance elevation shall be broken up through use of material, windows, roofing or massing change.
- 02.01.07** All garages are to be designed and constructed as part of the home and should not extend more than 4ft outside the width of the home. Exceptions could be considered if outdoor living areas are part of the overall design of the home.
- 02.01.08** The setback distance between the front face of the garage and the front entrance - either front door or front of the portico/porch - shall be a maximum of 10ft, for any home that includes a garage making up more than 2/3 of the width of the overall home.

02.02 Entrances

Emphasis shall be placed on the front entrance of the home. The front entrance shall be clearly identified from the front street (or side street on corner lots).

- 02.02.01** The front door should face the front street. Exceptions will be considered if the layout of the home requires it and the front porch and/or portico is clearly accessible from the front street.
- 02.02.02** All lots 40ft and wider should incorporate a minimum 6ft wide entrance landing, porch or stoop.
- 02.02.03** All front steps/porches/porticoes/stoops shall be constructed in accordance with the architectural style of the home. Any wooden front porches or rear decks should be enclosed with an appropriate enhanced material skirting.
- 02.02.04** Double volume front entry canopies will not be approved. Covered front entries more than one storey high shall be approved on a case-by-case basis and must include proper proportions with respect to the width of the entry versus the support column(s) width and overall height.
- 02.02.05** Entry columns shall not rest entirely on the garage roof and shall be an appropriate size and material for the architectural style of the home.

02.03 Materials

- 02.03.01** The use of stucco, stone, wood, cementacious siding, metal and brick are all encouraged. ***Vinyl siding will not be permitted.***
- 02.03.02** The signature elevations of each home should include a single base material/colour and 1 to 3 enhancement detail materials that are reflective of the style of architecture being conveyed.
- 02.03.03** The base material of all non signature elevations can continue in the same material as the signature elevation(s) OR be a well coordinated stucco colour.
- 02.03.04** The use of stucco shall be applied in situations which are reflective of the architectural style. High quality finish is required in all instances and ***dashed stucco will be prohibited on any prominent elevations.***
- 02.03.05** Material changes shall be tied to a change in massing or enhancements on windows and doors. Materials changing in the centre of a plane without any depth change will not be accepted.
- 02.03.06** The use of 4 inch trim on all windows and doors of prominent elevations is encouraged. For any contemporary, mid century modern or Scandinavian elevations, coloured window frames will be accepted as an alternative to window trim provided additional enhanced materials are incorporated into the overall design.
- 02.03.07** Exposed parging shall be limited to 2ft from grade on all elevations of the home. Including a bonding agent to assist with adhering the parging material to the home is encouraged.
- 02.03.08** All prominent elevation materials should return around the corner a minimum of 2ft along the side elevation.
- 02.03.09** Predominantly stucco houses must be well proportioned and balanced while including a high level of detail on the windows, entrance, and non stucco features that work with the style of architecture being conveyed.
- 02.03.10** Visually heavier materials must be situated below visually lighter materials (ie. natural stone below siding or siding below stucco.)
- 02.03.11** Warm/Natural tones are encouraged. Bright and bold tones will not be accepted as the base materials but will be reviewed on a case by case basis for accent details.

02.04 Decks

- 02.04.01** Front porches, porticoes and side or rear decks on prominent elevations are integral to the overall design of the home and shall be incorporated as part of the design of the home and installed at the time of construction by the builder.
- 02.04.02** Substantial decks with substantial deck supports shall be incorporated into all walkout lower level homes. The deck style shall be reflective of the architectural style. Some examples of significant deck supports would be 18" x 18" stone or stucco columns. Two 10" by 10" wood columns standing adjacent to each other. Several 6" to 8" Metal columns in a group to provide an overall significant massing. A means of access to the rear yard is also required.
- 02.04.03** A deck with enhanced skirting, or landscaped patio is required on all non walkout lower level homes with prominent elevations. A means of access to the rear yard is also required.

02.05 Garages and Carports

- 02.05.01** A minimum 20ft x 20ft double garage is required for all lots 36ft and wider.
- 02.05.02** A minimum 20ft x 12ft single car garage is required for all front drive lots under 36ft [including duplex units]
- 02.05.03** Attached duplex garage units shall include the same setback between each other as the corresponding living unit.
- 02.05.04** A minimum 12ft x 20ft single garage OR carport is required for all rear detached accessed lots.
- 02.05.05** All garages or carports shall include elements reflective of the architectural style of the home including elevations, roof style, materials and doors.
- 02.05.06** Any garage wider than 24ft shall require two front elevation planes separated by a minimum of 1ft.
- 02.05.05** All approaches are to be located as per the Marketing Plan.

02.06 Grading

- 02.06.01** All grading operations shall be designed to drain all surface water in conformity with the municipally approved grading plan either to the rear lot line or to the street within the lot boundaries.
- 02.06.02** Builders must thoroughly review the grading plan for their own and adjacent lots in order to achieve appropriate drainage patterns and avoid the use of retaining structures. Should retaining structures be required, the cost must be borne by the first builder affecting grades adjacent to the property line in such a way to necessitate a retaining structure.
- 02.06.03** All cross fall slopes between the driveway and/or sidewalk and the bottom of property line swale must not exceed 25%.
- 02.06.04** There is a great variety of grading for the lots that back the park which will provide ample opportunity for both walkout and lookout lots. Builders must pay careful attention to the grading plan on these lots.
- 02.06.05** Builders shall make use of the grade opportunities with the lookout lots by including larger windows and walkout lots by including walkout basements.
- 02.06.06** All lots backing the park must submit their plans as per the lot grade procedure to WSP for review at the time of first architectural submission. Final architectural approval will be granted only once WSP has provided grading approval.

03.01 Modern Prairie

- Massing:** Typically a simplistic square or rectangular design with several boxed shapes at varying heights and depths as well as horizontal expressions are utilized.
- Roof:** A low pitch hip with minimum 2ft wide eaves shall be utilized.
- Entrance:** Wide Stone or brick pillars are typical. Main floor porticoes or front porches and second floor balconies tucked into the body of the house are typical and should be included.
- Materials:** The base material is typically horizontal siding - either cementitious or wood siding. Stucco is often utilized as a secondary material with wood or natural stone often being utilized as accent details.
- Windows:** Large casement windows with wood trim shall be incorporated.



Top Left: Sage Creek

Top Right: Ridgewood West

Bottom: Assiniboine Landing



03.02 Modern Farmhouse

- Massing:** Simple lines, typically including several boxed shapes.
- Roof:** The most prominent plane shall include a gable roof with a minimum of 6:12 pitch. A secondary plane may also include a gable roof with the same roof pitch. Cottage roofs are restricted to garage, entry and main windows. Shadow bands are typically included within the gable.
- Entrance:** Covered front entries or porches shall be included in the design. Wood Timbers typically a minimum of 10" x 10" with collar trims or separate bases are encouraged to support the front canopy roof. A flat awning may also be a feature over the front entrance.
- Materials:** Board and Batten or Lap Siding shall be the base material. Horizontal siding, natural stone and brick are commonly used as secondary materials in a panel effect (or full plane). Stucco is typically a tertiary material if utilized. Flat panel and shakes siding is not typical.
- Windows:** Window trims are typical. More modern elevations will utilize coloured frames to create a contrast with the siding material.



Top: RidgeWood West



Bottom: Pointe Hebert

03.03 Modern Tudor

- Massing:** Generally includes a front prominent plane.
- Roof:** Typically a steeply pitched main hip roof with at least one front gable. Sometimes multiple front gables are included.
- Entrance:** **Tudor arch over front door is typical.**
- Materials:** Typically a mix of stucco with half timbering details and masonry. Shakes are sometimes utilized on accent planes. Stucco and half timbering is occasionally substituted for board and batten.
- Windows:** **Casement windows with window trims are typical.** Boxed out windows are also common.



Sage Creek

03.04 Contemporary

- Massing:** Variations in building form may include asymmetrical elements applied in an organized fashion.
- Roof:** Simple shed or flat front facing roofs should be included on a focal plane of the house and intersect with a main hipped roof plane. The main roof plan should be a minimum of 4:12 pitch.
- Entrance:** Entrances are simple and uncluttered porticoes, framed by unique cover.
- Materials:** Panel siding is typically utilized as the base material with alternate finishes dominating the front elevation. Finishes include smooth or textured panels, vertical siding, and corrugated aluminum. Detailing is minimal, but with large planes. Stone or brick details may be applied in panel effect. If stucco is utilized, it is typically as a secondary or tertiary material.
- Windows:** Coloured window frames are typically included.



Top: Pointe Hebert

Bottom: Sage Creek



03.05 Modern Craftsman

- Massing:** A square shape with a centralized entrance should be incorporated.
- Roof:** A low Pitched Gabled Roof with minimum 2ft wide eaves shall be utilized. Exposed roof rafters should extend outside of the home and into the front porch or portico. Dormers are encouraged.
- Entrance:** A front porch or wide covered entrance shall be included and its canopy shall be supported with oversized stone columns or combination of stone and panel siding.
- Materials:** Typically the base material is lap or shingle siding. Board and batten siding, natural stone, brick and stucco are typically utilized as secondary materials.
- Windows:** Typically numerous windows that vary in size and include wood trim. Dormers are a common detail.



Top: River Heights



Bottom: Assiniboine Landing

03.06 Mid Century Modern

- Massing:** Typically includes a centralized entrance.
- Roof:** Low pitch gable, shed or butterfly roofs shall be utilized. Extending the roof and exposed roof joists over the front entrance and outdoor space is encouraged.
- Entrance:** Large front covered patios that create an outside room are typical.
- Materials:** The base material is typically siding. Natural stone, brick, siding and stucco are often utilized as secondary plane materials.
- Windows:** Window frames are typically dark or a natural wood colour and typically cover over 40% of the elevation. Clerestory windows are often included in the design.



Top: River Heights



Bottom: River Heights

03.07 Modern French Country

- Massing:** Large roofs, curved arches and soft-lines are typical. Window boxes and/or dormers are common details.
- Roof:** Typically large 8:12 hipped main roof with accent roofs over the front door are utilized. Shed roofs are typically utilized for garage or above main windows. These are typically slate tile or metal. Garage or main window being slate tile or metal shed roofs. Roof dormers are also common accents.
- Entrance:** Covered canopies with two large wood or stone columns are typical.
- Materials:** Stucco and horizontal siding should be utilized as the base materials. Natural stone or brick should be utilized as the main accent material and is typically utilized on a full plane and/or entrance columns.
- Windows:** Tall rectangular windows with grilles and wood or stone trim-work is typical.



Top: River Heights



Bottom: Assiniboine Landing

03.08 Scandinavian

- Massing:** Simple lines are typical.
- Roof:** Typically simple large gable roof-lines which extend over the front patio/porch.
- Entrance:** Large inviting front porches are typically covered by canopies which are an extension of the overall roof structure. If an additional roof is utilized, it is generally supported by wood columns.
- Materials:** Typically a light coloured or natural wood siding is utilized for the base material. Wood and natural accents are prevalent especially around the front focal areas such as the entrance. Natural stone or brick is typically utilized as a panel effect (Full Plane) if incorporated.
- Windows:** Large windows or full window walls are prevalent with a focus on lots of natural light. Box windows are common. Coloured window frames are common while window trims are less common.



Bottom: Pointe Hebert

04.01 Premium Lots Front Drive Double Car Garage 36ft - 40ft

Lots 12-28
Block 3, Plan 76505

Lots 2-35
Block 4, Plan 76505

Zoned R1-M

Front Setback: 18 to 22ft.

Rear Setback: 25ft.

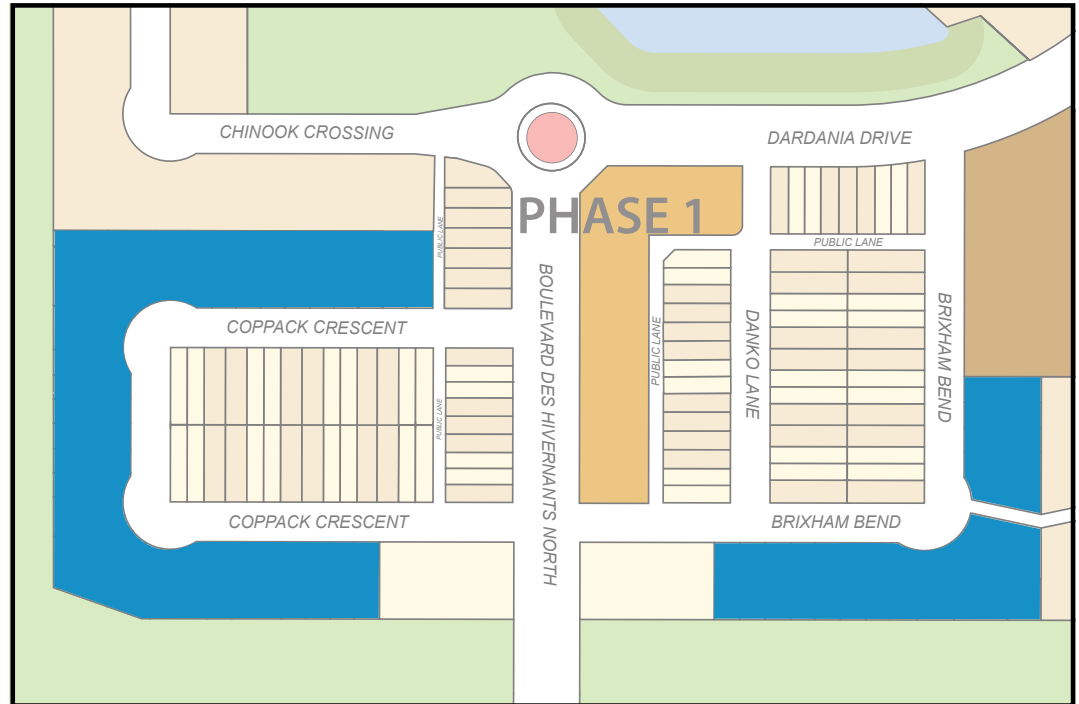
Side yards: 4 to 6ft.

Bungalow:

1200 square foot min

Two Storey:

1500 square foot min



- 04.01.01** A home with the same or similar floor plan and same architectural style shall have a minimum of 6 lots between.
- 04.01.02** A home with the same or similar floor plan and different architectural style shall require a minimum of 3 lots between.
- 04.01.03** Enhancements: Lots 18-28 (Block 3) and Lots 2-12 (Block 4) along Hydro Corridor, require some type of rear plane change (cantilever is acceptable). No additional material or window enhancements, or deck required.

Side elevation enhancements required adjacent to pathways and roadways.

04.02 Premium Lots Front Drive Single Car Garage 28ft - 34ft

Lots 4, 5, 8, 9, 12, 13, 23,
24, 27, 28, 31, 32
Block 18, Plan 76505

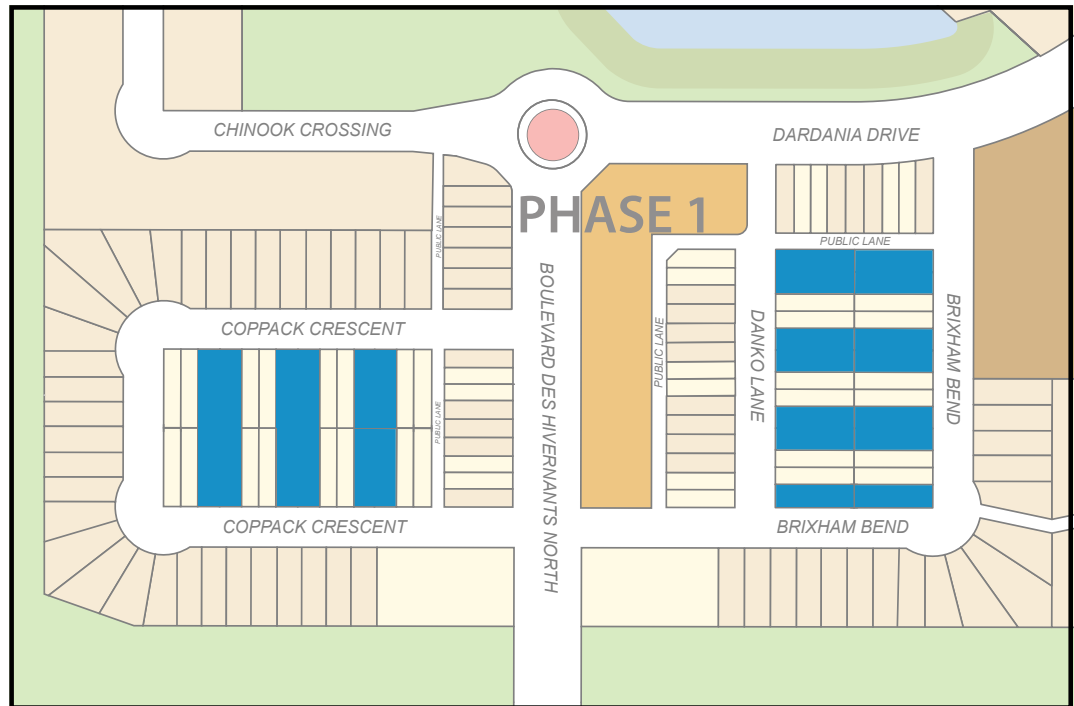
Lots 12, 13, 16, 17, 20,
21, 26, 27, 30, 31, 34, 35
Block 20, Plan 76505

Lots 1 & 35 = 34'
Block 18, Plan 76505
*(can accept double-car
garage provided all other
criteria is met)*

Zoned R1-S

Front Setback: 18ft to 22ft.
Rear Setback: 25ft
Side yards: 3 to 5ft.

Bungalow:
1000 square foot min
Two Storey:
1350 square foot min



- 04.02.01** A home with the same or similar floor plan and same architectural style shall have a minimum of 6 lots between.
- 04.02.02** A home with the same or similar floor plan and different architectural style shall require a minimum of 3 lots between.
- 04.02.04** Any lot narrower than 34ft shall have a single car garage (SCG). A minimum 12ft x 20ft single car attached garage is required.
- 04.02.05** For all single car garage homes (SCG), the approach should include 0.75m flares instead of the typical 1.5m flare.
- 04.02.06** Enhancements: Side elevation enhancements required adjacent to pathways and roadways.

04.03 Premium Lots Duplex Front Drive 25 - 27ft.

Lots 2-3, 6-7, 10-11,
25-26, 29-30, 33-34
Block 18, Plan 76505

Lots 10-11, 14-15,
18-19, 22-23, 24-25,
28-29, 32-33, 36-37
Block 20, Plan 76505

Zoned: R2

Front Setback:

20 to 22ft.

Rear Setback: 25ft.

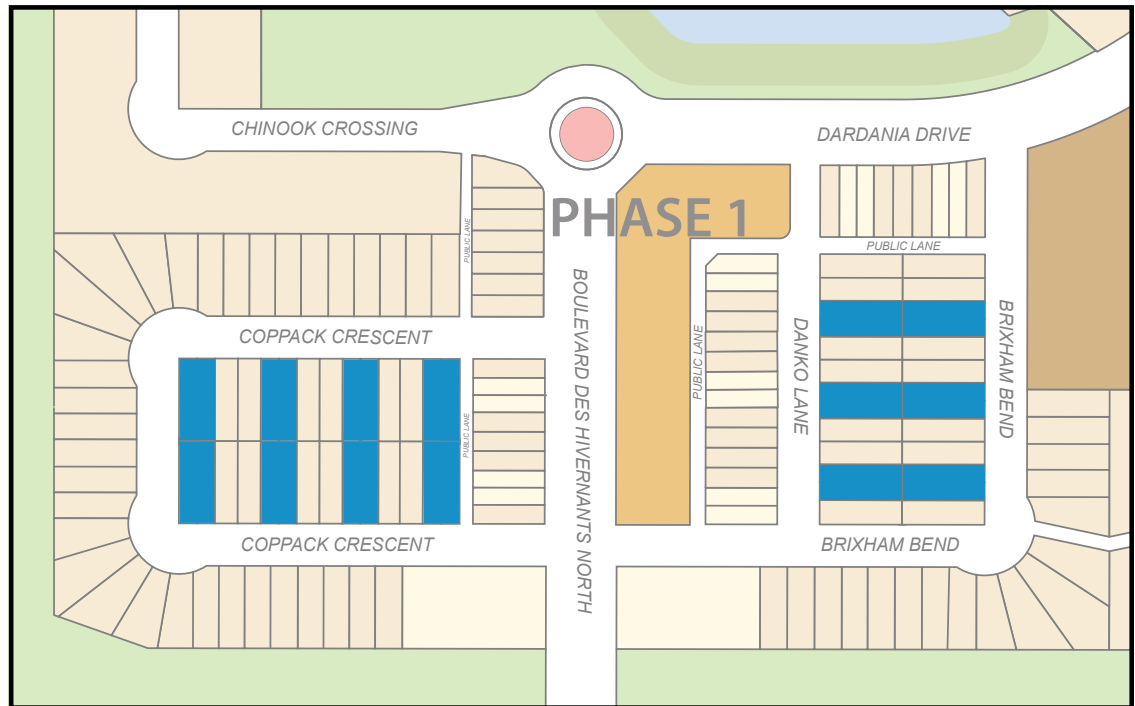
Side yards: 4 to 6ft.

Bungalow:

1000 square foot min

Two Storey:

1350 square foot min



- 04.03.01** While each duplex building should maintain a single architectural style, a minimum of three duplex buildings shall separate similar architectural styles and/or colour/material palettes.
- 04.03.02** Within each duplex building, attached units shall be setback from one another by a minimum of 2ft.
- 04.03.03** Within each duplex building, each unit shall have its own distinct roof-line separated vertically by a minimum of 1ft.
- 04.03.04** Each unit shall incorporate a minimum of two planes that are separated by a minimum of distance of 2ft.
- 04.03.05** For colours and materials, EITHER
1. Utilize a single base colour with impact details changing on each unit;
 2. Utilize different base colour on each unit with standardized detail material throughout building;
 3. Maintain same base and detail materials, but those materials should be utilized in a different location.
- 04.03.06** For all duplex homes, the approach should include 0.75m flares instead of the typical 1.5m flare.
- 04.03.07** Enhancements: Side elevation enhancements required adjacent to pathways and roadways.

04.04 Premium Lots

Single Family Lane Access

28ft+

Lots 36-42
Block 4, Plan 76505

Lots 14, 17, 18, 19, 22
Block 18, Plan 76505

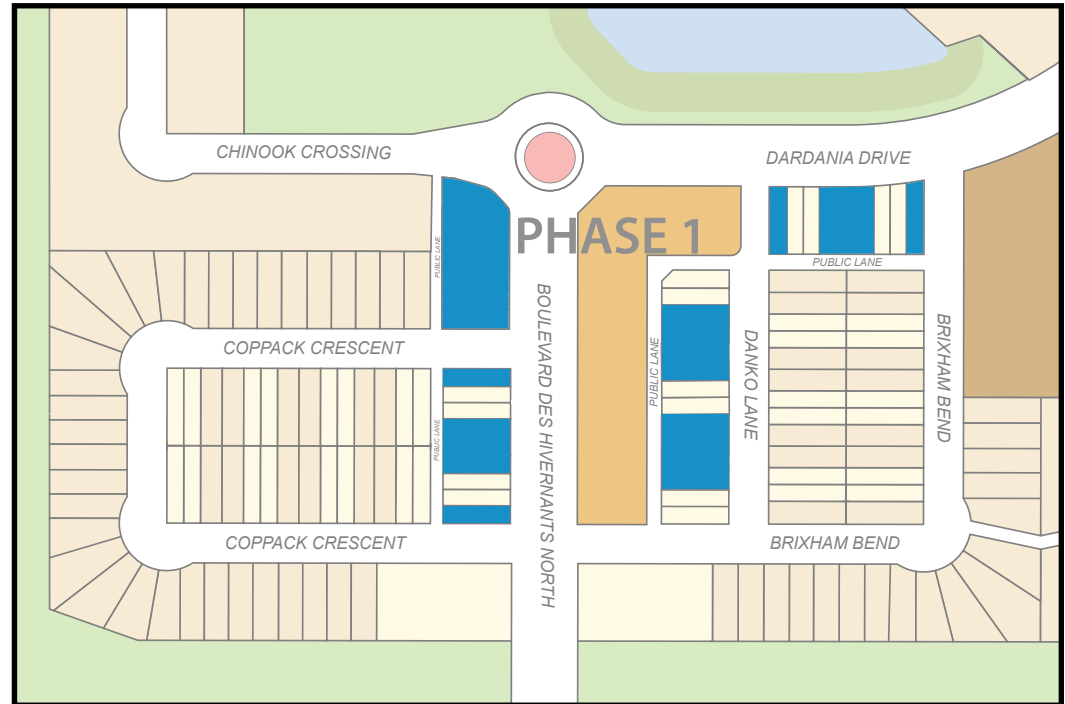
Lots 3, 4, 5, 6, 9, 10, 11, 12
Block 19, Plan 76505

Lots 1,4,5,6,9
Block 20, Plan 76505

Zoned R1-S

Front Setback: 10ft to 15ft
Rear Setback: 5ft to
Garage/Carport
Side yards: 3 to 5ft.

Bungalow:
1000 square foot min
Two Storey:
1350 square foot min



- 04.04.01** A home with the same or similar floor plan and same architectural style shall have a minimum of 6 lots between.
- 04.04.02** A home with the same or similar floor plan and different architectural style shall require a minimum of 3 lots between.
- 04.04.03** A minimum single car rear detached / attached garage OR carport is required - and should reflect the architectural style of the home.
- 04.04.04** Enhancements: Side elevation enhancements required adjacent to pathways and roadways.

Lots 14, 17, 18, 19, 22 (Block 18) facing the park (along Dardania Dr) are required to include a space on the exterior of the home that makes use of the views. This could include second-floor balconies or main-floor porches or bistro patios worked into the overall plan and architectural style.

04.05 Premium Lots Duplex Lane Access 28ft+

Lots 2-3, 7-8
Block 20, Plan 76505

Lots 15-16, 20-21
Block 18, Plan 76505

Lots 1-2, 7-8, 13-14
Block 19, Plan 76505

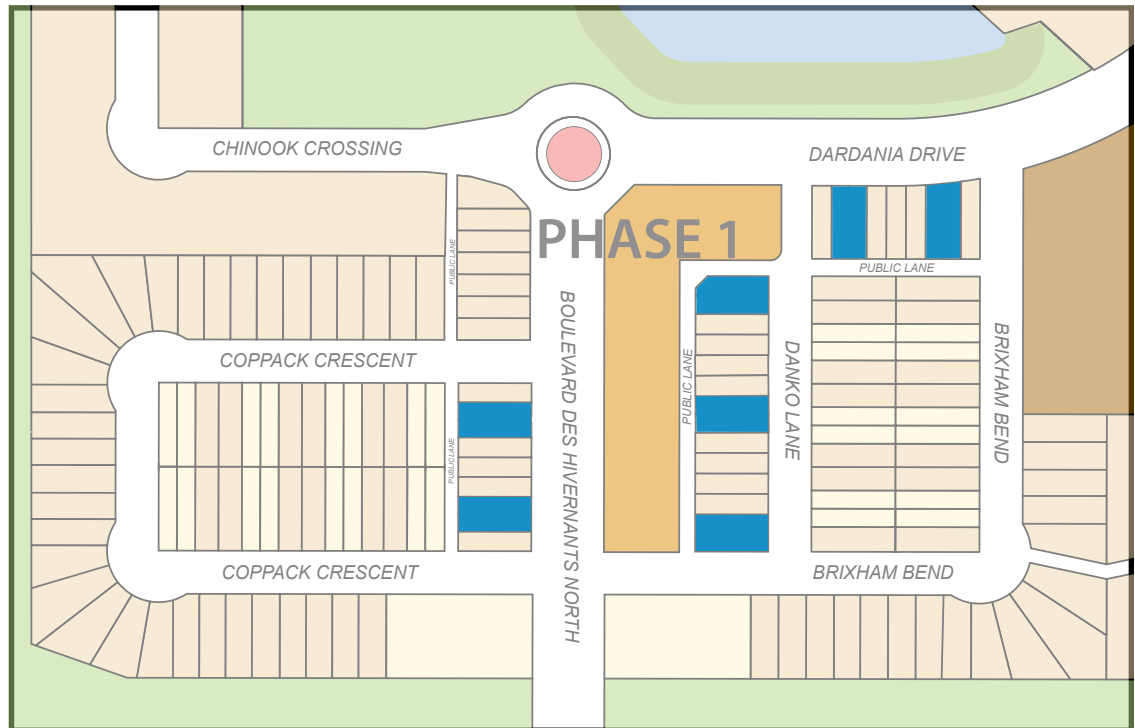
Zoned R2

Front Setback: 15ft

Rear Setback: 5ft
(Garage or Carport that
reflects the style of the
home is required)

Side yards: 3 to 5ft.

Bungalow:
1000 square foot min
Two Storey:
1350 square foot min



04.05.01

While each duplex building should maintain a single architectural style, a minimum of three duplex buildings shall separate similar architectural styles and/or colour material palettes.

04.05.02

Within each duplex building, attached units shall be setback from one another by a minimum of 2ft.

04.05.03

Within each duplex building, each unit shall have its own distinct roof-line separated vertically by a minimum of 1ft.

04.05.04

Each unit shall incorporate a minimum of two planes that are separated by a minimum of distance of 2ft.

04.05.05

For colours and materials, EITHER

1. Utilize a single base colour with impact details changing on each unit;
2. Utilize different base colour on each unit with standardized detail material throughout building;
3. Maintain same base and detail materials, but those materials should be utilized in a different location.

04.05.06

Enhancements: Side elevation enhancements required adjacent to pathways and roadways.

Lots 15-16, 20-21 (Block 18) facing the park (along Dardania Dr) are required to include a space on the exterior of the home that makes use of the views. This could include second-floor balconies or main-floor porches or bistro patios worked into the overall plan and architectural style.

05.01 Landscaping

At minimum, sod and planting beds are required on front yard opposite of the garage. Decorative stone on its own will not be accepted.

Native trees, shrubs and grasses are encouraged.

Sump pump discharge shall be outlet on the same side as the approach. Decorative stone mulch is encouraged to allow sump discharge to percolate.

05.02 Accessory Structures

All sheds are required to be in the rear or side yard only. They should be a minimum of 3m from any open / ornamental style fencing.

All Air Conditioner Units are to be located in the side or rear yard.

Garbage receptacles are encouraged to be stored within the garage.

05.03 Driveways and Walkways

All driveways shall be installed in either concrete or decorative paving stone at the time of construction with the approach situated as per the respective Features Plan.

05.04 Fencing

All developer installed fencing within the community will be coordinated with respect to design, materials and finishes. Homeowners are required to maintain the fence as installed by the developer. Please refer to the respective Features Plan for location and type of fencing to be installed.

Trees, shrubs and vines are encouraged for additional privacy along open and ornamental fencing.

For non developer installed fencing, homeowners are encouraged to utilize wood, or open / ornamental style fencing.